

Economic Development TIF Grants

City Council

November 5, 2019



Projects for Consideration

- 305 Elm Avenue – funding request
- Bridge Street Front Porch Project – funding request
- Quiet Zone Project – funding request
- Webster Avenue Sidewalk Improvements – funding request
- The Containery - contract extension
- Behren's Building II Restoration - contract amendment
- Taylor St. Slab Removal & Remediation – funding request
- Façade Improvement Program – funding request

305 Elm Avenue

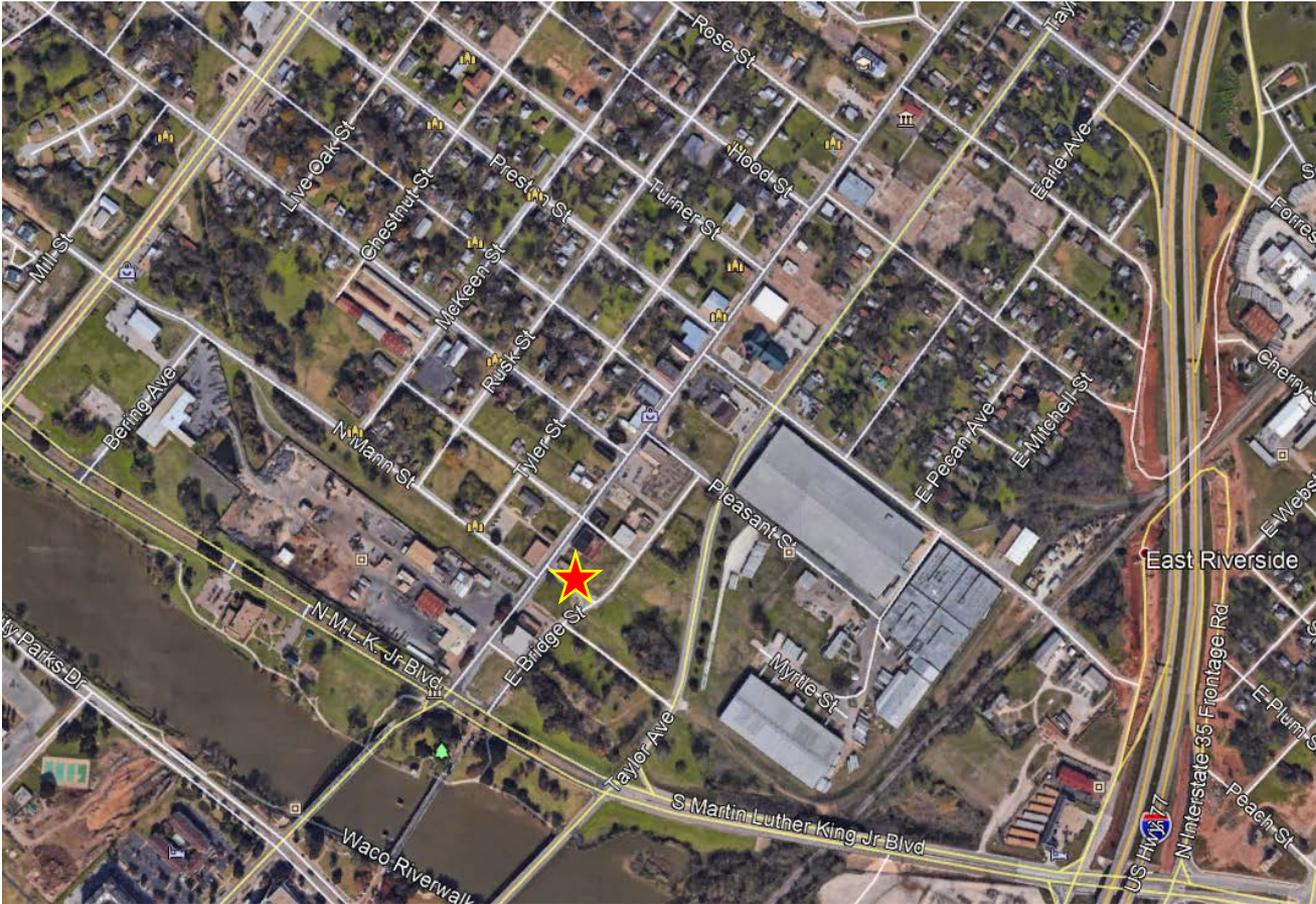
Building Renovation

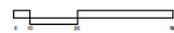
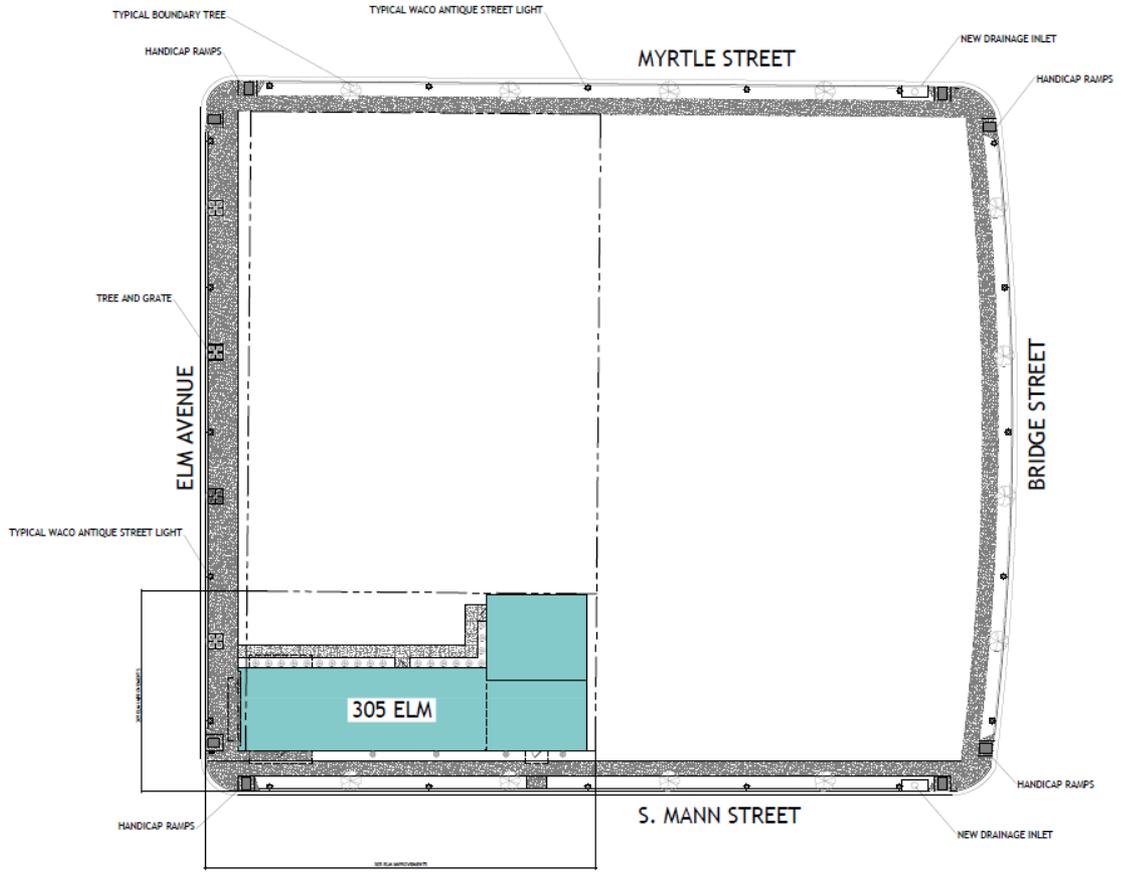


305 Elm Ave. Renovation



Aerial View





1 SITE PLAN 



STERLING ARCHITECTS, LLC
 2416 COLUMBUS AVENUE
 WACO, TEXAS 76707
 P: 254.796.2171
 F: 254.796.2175
 www.sterlingarchitects.com
 sterling@sterlingarchitects.com

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IMPROVEMENTS
 ELM TO BRIDGE STREET
 WACO, TEXAS

NOT FOR CONSTRUCTION
 NOT FOR PERMITTING

PROJECT #: 2019-09-09
 DRAWN: SWT
 CHECKED: SWT
 DATE: 09/24/19
 REVISIONS:

1	00/00/00

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SITE PLAN

A1.1

Company Summary

- **305 Elm, LLC Partners**

- Cody Carlson: Baylor Graduate, partner in development projects and business investment
- Jay Kelly: Baylor Graduate & owner/operator of City Ranch Boot/ Kelly Leather companies, tenant at 305 Elm.
- John Fegan: Investor/developer, owns multiple properties in DFW area, and Waco.
- John Nicklos: shareholder in build to suit ventures, renovation projects in Austin area.
- Combined experienced in real estate investment, development projects, building renovation, build to suit, retail operations

Project Summary

- **Retail development for 2 businesses includes restoration, renovation and new construction.**
- 3,560 Sq. Ft. building, with 2 main areas that are 2,013 Sq. Ft. & 1,547 Sq. Ft.
 - Third Space Theory Coffee:
 - Italian made coffee cart owned and operated by Andreas & Bianca Zaloumis.
 - Started pop up coffee company 9 months ago.
 - Served at Cultivate 712, the Farmer's Market, other locations around downtown.
 - Licensed open air vendor, specializes in hand crafted coffee drinks and cream sodas.
 - Seeks permanent location to create community and grow their business.



Project Summary

- **City Ranch Boot Company**

- Owned by Jay and Terry Ann Kelly, residents of Waco.
- Offers local and visiting patrons high quality, custom designed boots made of exotic leathers.
- Will increase complimentary Retail offerings in Elm Ave. area
- Highly visible, strategically located space next to City Center's Front Porch project.
- Welcoming atmosphere will compliment the festival/event district.
- Jay has owned successful businesses, and has extensive experience in exotic leathers and custom designed cowboy boots.

Current Photos



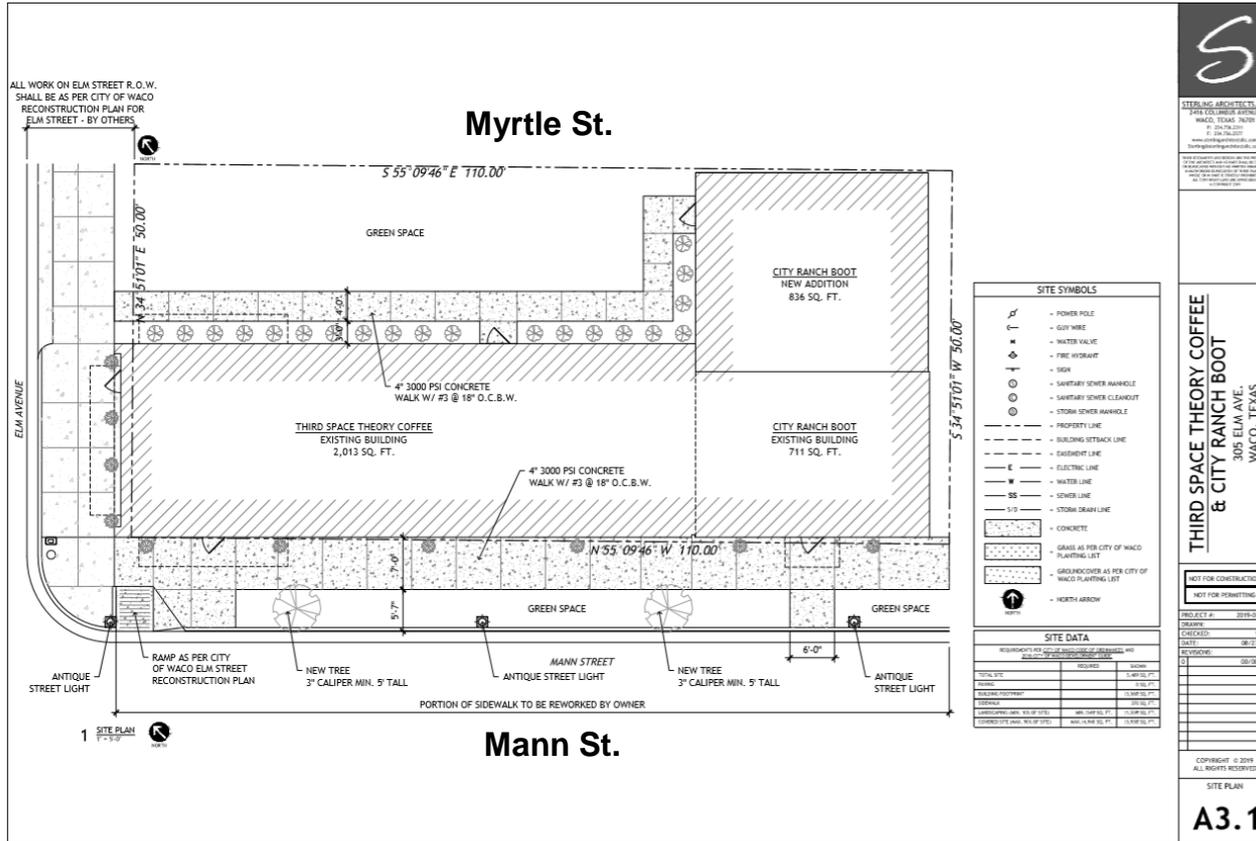
Rendering



Rendering



Streetscape Site Plans





Public Improvements

- **Sidewalks, Streetscape, Utilities**
- Mobilization, Safety Plan, Site Prep and Demolition
- Install sidewalk, trees, and landscaping on Elm Ave. & Mann St.
- Install electrical service, street lamps on Elm Ave. & Mann St.
- Install irrigation, water service, wastewater & sewage system improvements
- Install drainage improvements as needed



MCAD & Construction Values

- MCAD Value: \$17,500
- Private Cost: \$773,126
- Public Cost (Building Specific): \$208,891
- Total Budget: \$982,017
- TIF Ask: \$208,891

Staff Recommendation

Project	Current MCAD Value	Total Construction Cost	TIF Ask	% of Total Construction Cost	Staff Recommends	% of Total Construction Cost
305 Elm Ave.	\$17,500	\$982,017	\$208,891	21.27%	\$200,000	20.36%

Appraisal Dispute Amount: \$999,517



Staff Recommendation

Recommended Funding: \$ 200,000 (20.36%)

- 2 Payments of \$100,000 after project is fully complete 365 days apart.

Appraisal Dispute Amount: \$999,517



Staff Recommendation

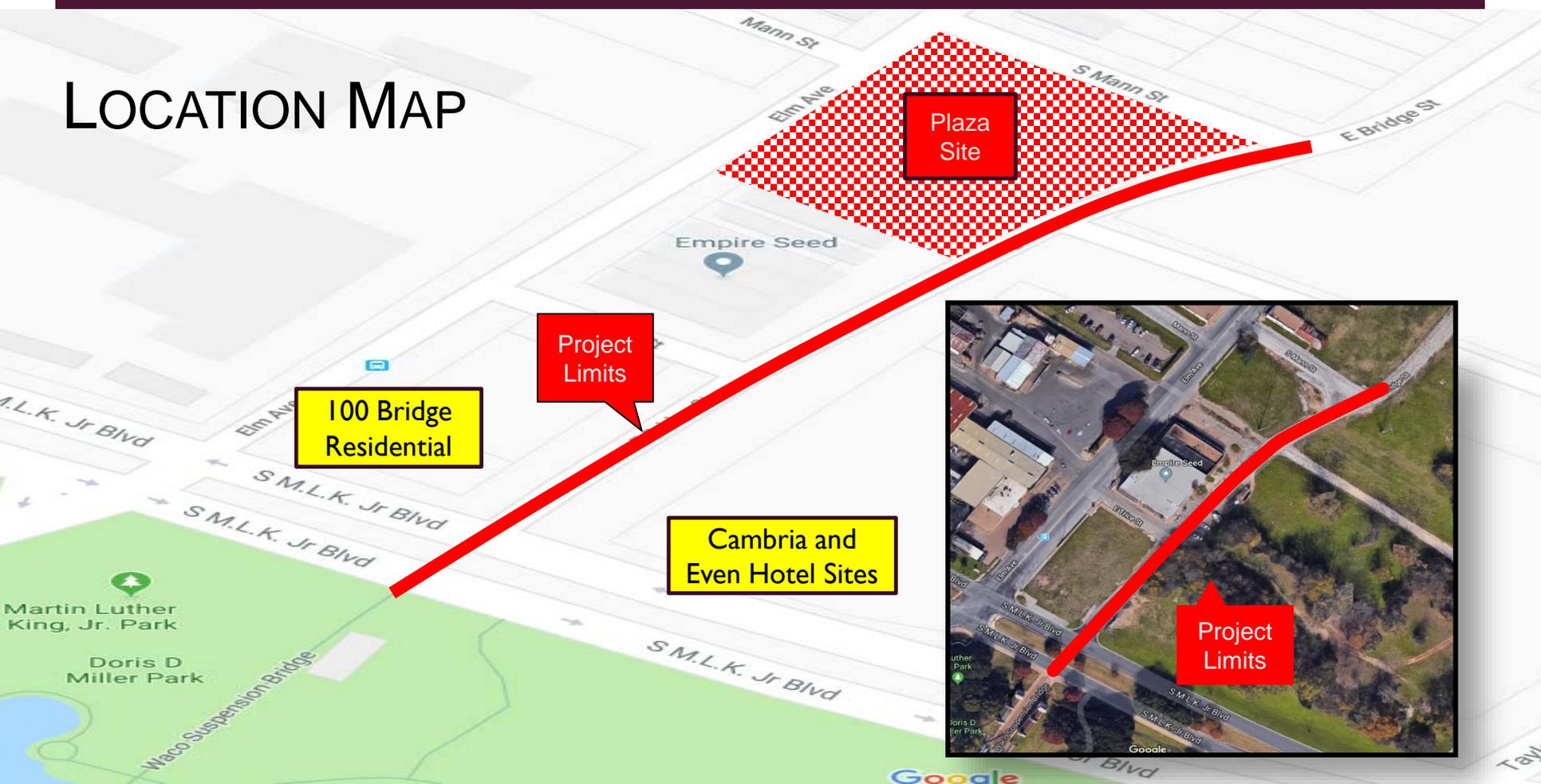
- The project must be under contract within 6 months of City Council approval, or the grant may be forfeited.
- The project must be under construction within 6 months of contract execution, or 12 months if a 6 month extension is granted.
- The project must work with Public Works to ensure that all sidewalk design and construction will be in compliance with the anticipated public sidewalk project to be funded by the TIF Streetscape grant project and TxDOT TASA grant, and the Bridge Street Front Porch Project.
- Contract Term: 3 years from execution.



Bridge Street Front Porch Project



LOCATION MAP



100 Bridge Residential

Project Limits

Cambria and Even Hotel Sites

Plaza Site



Project Limits

CORPORATE SUMMARY, CITY CENTER WACO

- We drive development and collaboration in the CITY CENTER, which is downtown and the surrounding neighborhoods. In so doing, we
 - **Engage** – with residents, developers, city staff and others to enhance collaboration
 - **Plan** – enact existing plans for the CITY CENTER and collaborate on new ones
 - **Accelerate & Steer** – development via advice, investment and **direct action**.

PROJECT SUMMARY

Type of Construction

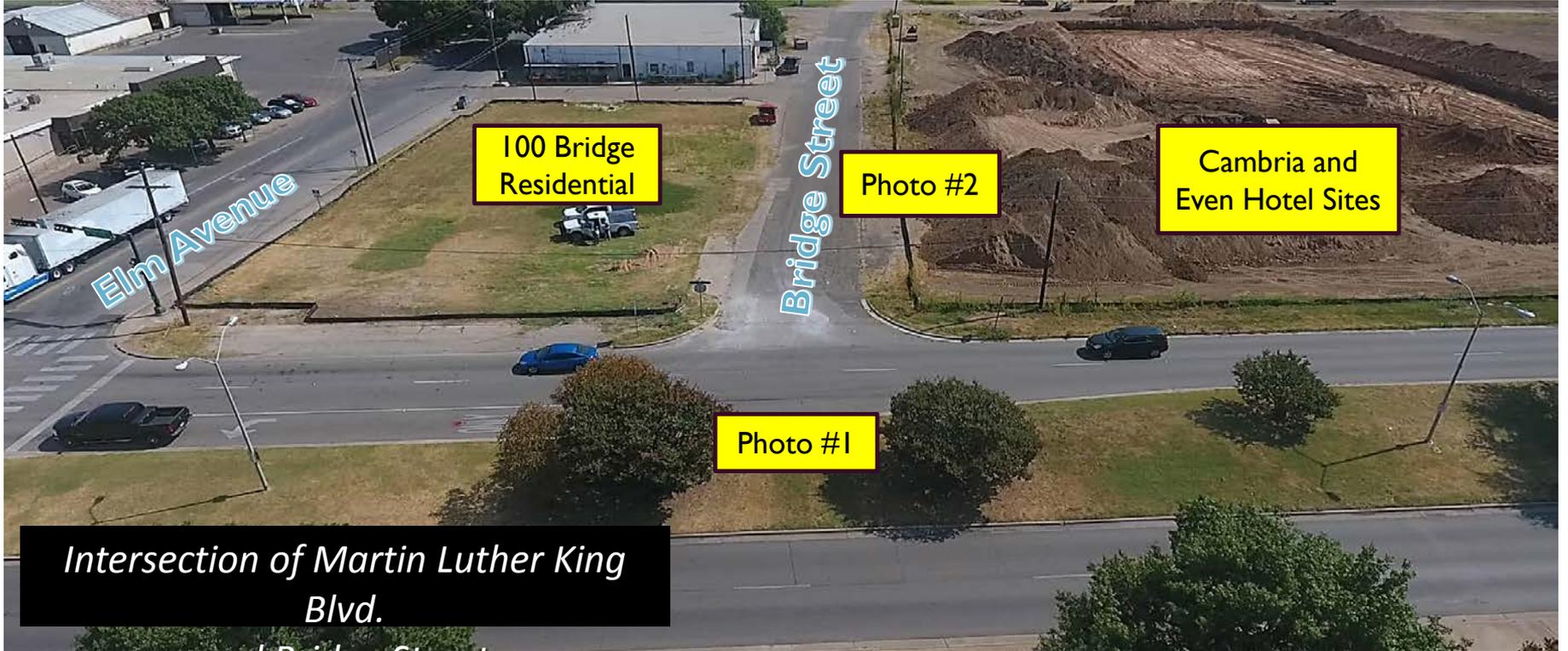
- Demolition / Preservation of historic properties
- New construction / landscaping

Improvements – Bridge Street

- Festival Street
- Concrete Paving
- Reinforced sidewalk
- Storm drain improvements
- New parking areas
- Replacing curb & gutter
- New lighting
- ADA improvements (i.e. handicap ramps)



CURRENT CONDITIONS



CURRENT CONDITIONS



Photo #1: MLK Blvd and Bridge Street



Photo #2: Along Bridge Street

CURRENT CONDITIONS



200 Block of Bridge Street

Photo #4

Trice Street

100 Bridge Residential

Bridge Street

Photo #3

Cambria and Even Hotel Sites

CURRENT CONDITIONS



Photo #3: Bridge Street and Trice Street



Photo #4: Bridge Street and Mann Street

CURRENT CONDITIONS

300 Block of Bridge Street

Plaza Site

Bridge Street

Cambria and
Even Hotel Sites



CONSTRUCTION TIMELINE

Construction Manager At-Risk Concept		
Survey and Geotech	60 days	Jul. 2019 – Aug. 2019
Design (Pavement and Parking)	90 days	Sept. 2019 – Dec. 2019
Design (Landscape and Arch Details)	90 day	Jan. 2020 – Apr. 2020
Plan Review/Permitting	90 days	Nov. 2019 – Feb. 2020
TIF Meeting	1 day	Oct. 2019
Construction (Pavements and Parking)	120 day	Feb. 2020 – Jun. 2020
Construction (Landscaping and Arch Details)	184 days	May 2020 – Nov 2020

TOTAL BUDGET – TIF REQUEST \$5,548,000

Funding Source	Planning/Design <i>(including environmental and acquisition costs)</i>	Construction	Total
<i>Bridge Street Front Porch Project</i>			
TIF Funding	\$ 0	\$ 5,548,000	\$ 5,548,000
City Funding	\$ 0	\$ 0	\$ 0
TOTAL	\$ 0	\$ 5,548,000	\$ 5,548,000

TIF Funding Request \$5,548,000

Staff Recommendation

Project	Current MCAD Value	Total Construction Cost	TIF Ask	% of Total Construction Cost	Staff Recommends	% of Total Construction Cost
Bridge St. Front Porch Project	N/A	\$5,548,000	\$5,548,000	100%	\$5,548,000	100%



Staff Recommendation

- Recommended Funding: \$5,548,000 to construct the Bridge Street Project.
- TIF grant funds will be paid in phases as portions of the project are completed.

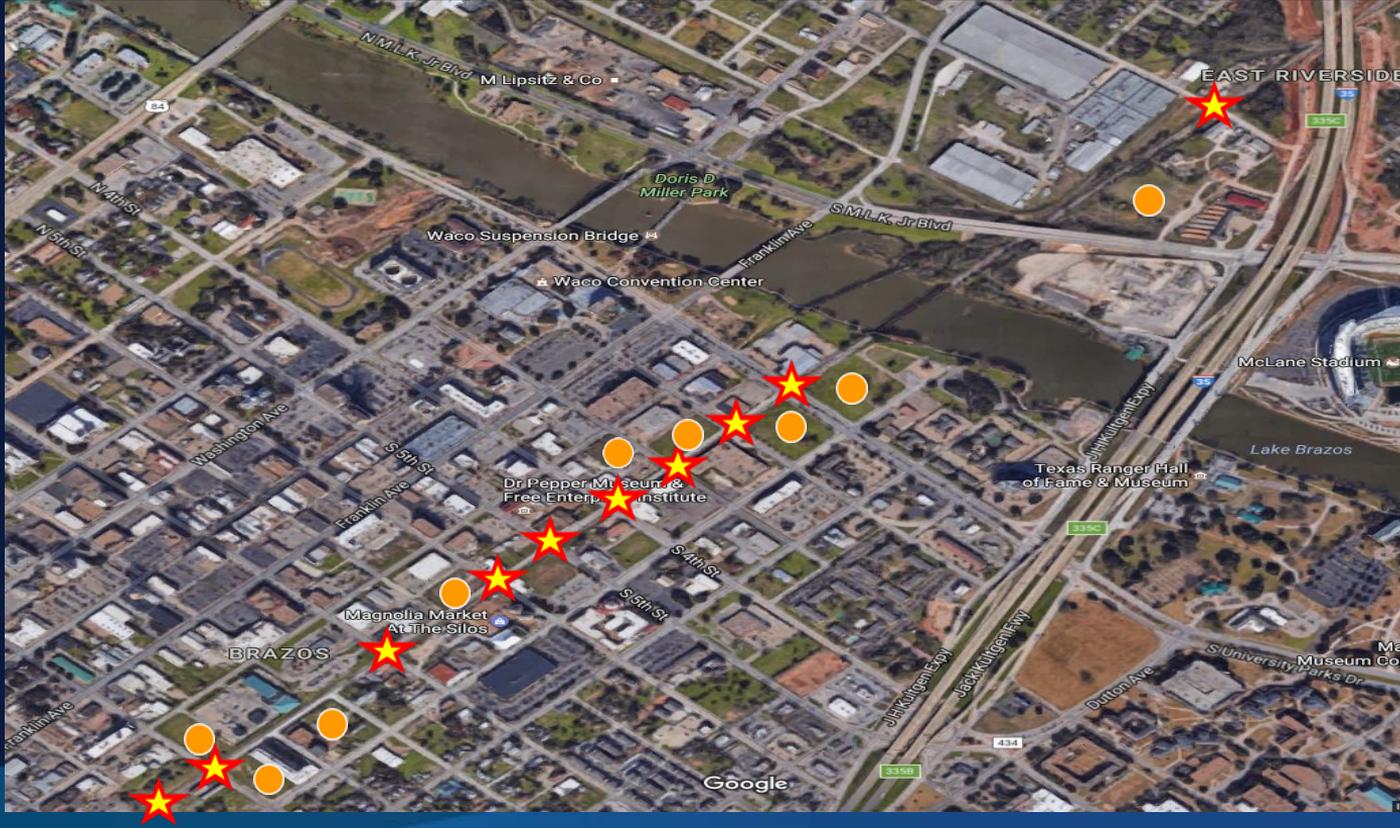


Quiet Zone

Peach Street to South 13th Street



LOCATION MAP



-  Undeveloped Property
-  Intersections In Quiet Zone



PROJECT SUMMARY

- Improvements – Railroad
 - Railroad gates with lights at all crossings
 - Concrete panels across railroad tracks
- Improvements – City
 - Center-line channelization devices on all two-way approaches
 - Sidewalk connections across railroad tracks
 - Improved signing and striping on all approaches
 - Conversion of Jackson Avenue to one-way operation (East to West).



CURRENT PHOTOS



S 6th Street Crossing
Gate Arms with Lights



S 3rd Street Crossing
No Gates, Lights Only



PEDESTRIAN CROSSING IMPROVEMENTS

- Adequate Pedestrian Accommodations



University Parks
(Adequate)



6th Street
(Improvements Required)



CHANNELIZATION EXAMPLES

- Channelization Devices at All Two Way Approaches



SCHEDULE

Sept 2019 - Notice of Intent (NOI) sent to Federal Rail Administration and all railroad users (UPRR, BNSF, etc.)

Sept 2019 - Final Engineering Design

Nov 2019 - Railroad Construction Agreement*

Quiet Zone Construction (6-12 Months)*

- UPRR will complete any improvements within the railroad ROW at each crossing
- City will complete sidewalk extensions, installation of channelization devices and improvements to signage and pavement markings on all approaches

Quiet Zone Acceptance and Implementation (21 Days)

Target Quiet Zone Date (September - December 2020)*

*Subject to UPRR timeline



TOTAL BUDGET

TIF Funding	Construction Cost	Total Cost
<i>Quiet Zone: Peach Street to South 13th Street</i>		
City Improvements	\$ 196,057.00	\$ 196,057.00
Railroad Improvements	\$ 1,193,750	\$ 1,193,750.00
Contingency (10%)	\$ 139,000.00	\$ 139,000.00
TOTAL	\$ 1,528,807.00	\$ 1,528,807.00

TIF Funding Request \$1,528,807



Staff Recommendation

Project	Current MCAD Value	Total Construction Cost	TIF Ask	% of Total Construction Cost	Staff Recommends	% of Total Construction Cost
Quiet Zone	N/A	\$1,528,807	\$1,528,807	100%	\$1,528,807	100%



Staff Recommendation

- Recommended Funding: \$1,528,807 to assist with the construction of the Quiet Zone from Peach Street to S 13th St.
- TIF grant funds will be paid in phases as portions of the project are completed.

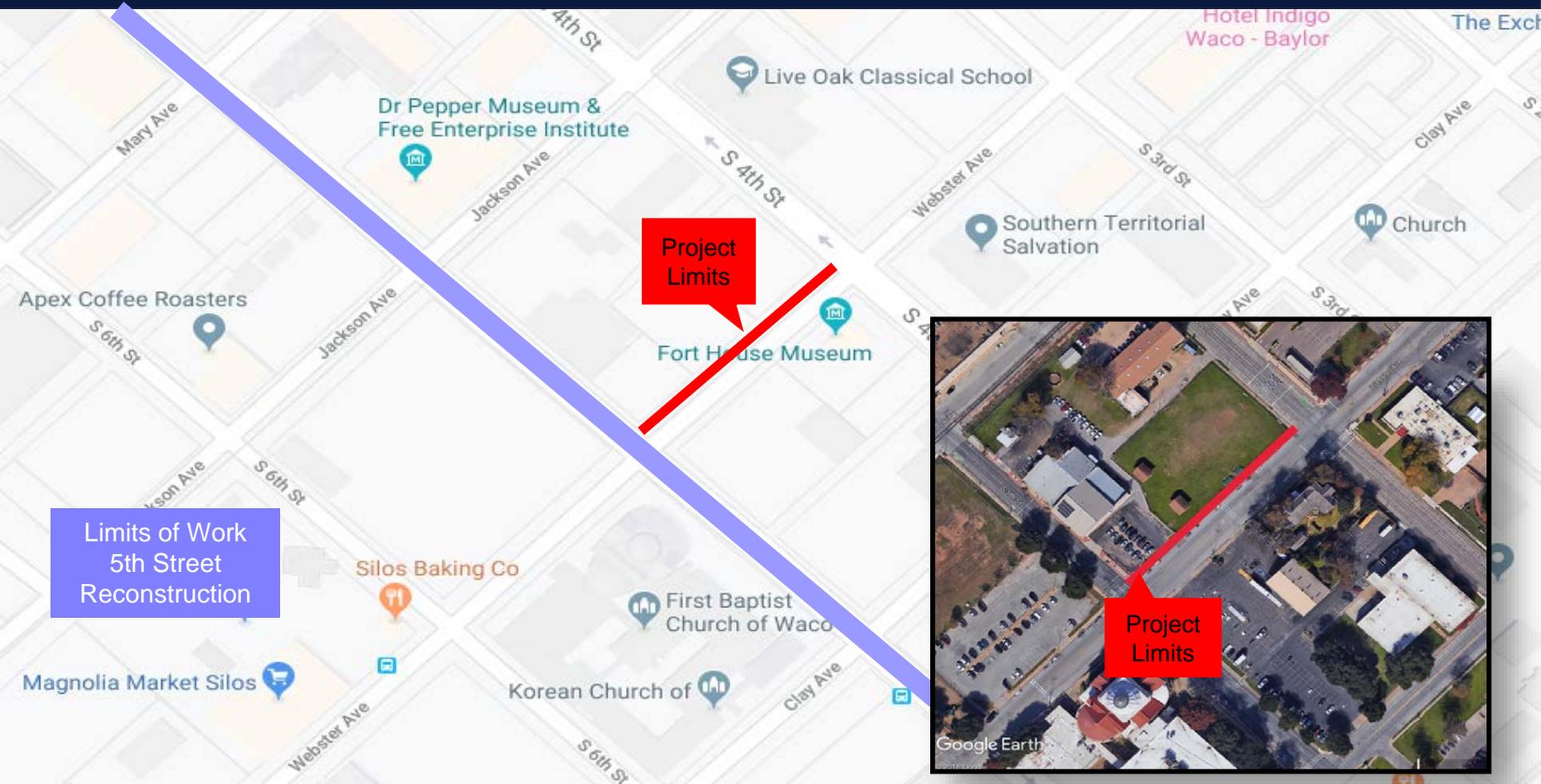


Webster Avenue Sidewalk Improvements

S 4th Street to S 5th Street



LOCATION MAPS



Limits of Work
5th Street
Reconstruction

Project
Limits

Project
Limits



PROJECT SUMMARY

- Improvements – Webster Avenue (4th to 5th)
 - Reinforced sidewalk
 - Storm drain improvements
 - Replacing curb & gutter
 - New lighting
 - ADA improvements (i.e. handicap ramps)

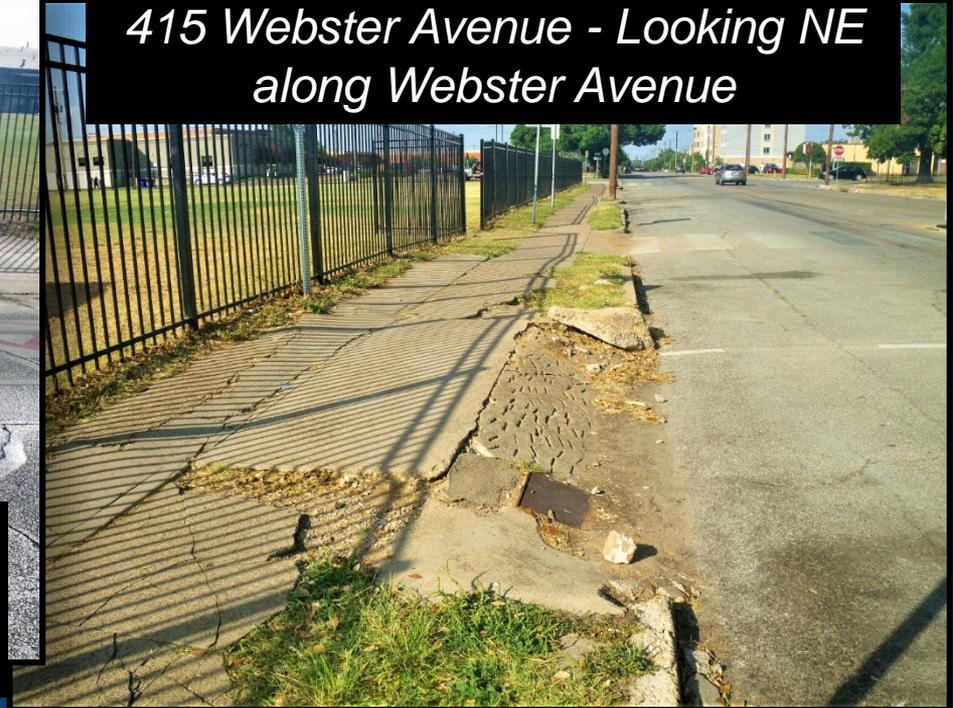


CURRENT PHOTOS (CONT.)

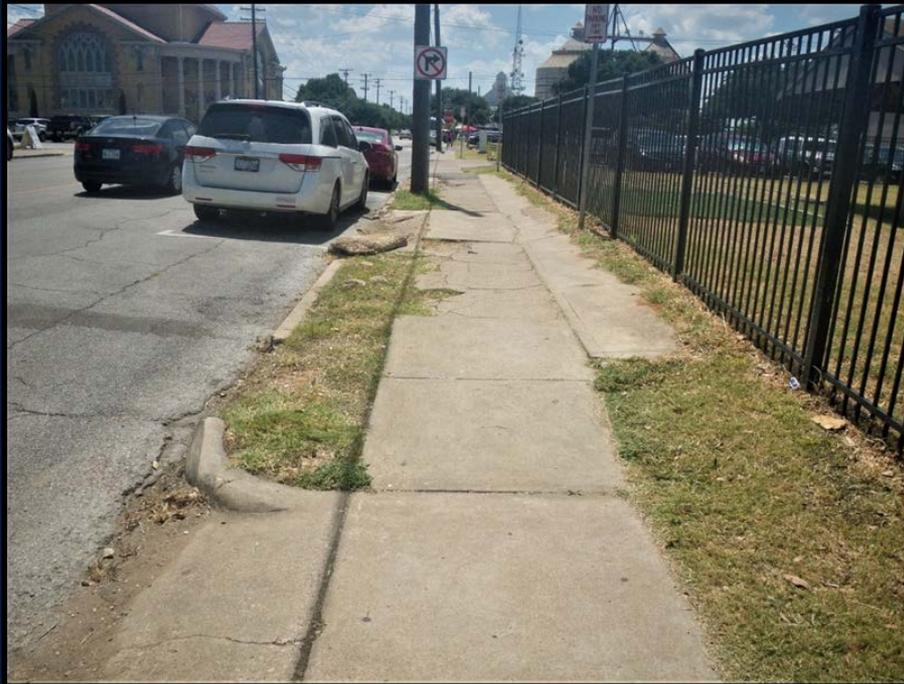


499 S 4th Street - Looking SW at the intersection of 4th Street & Webster Avenue

415 Webster Avenue - Looking NE along Webster Avenue



CURRENT PHOTOS (CONT.)



*426 Webster Avenue - Looking SW
towards intersection of Webster Avenue
& 5th Street*



SITE PLAN

WEBSTER AVENUE IMPROVEMENTS – 4TH TO 5TH



Webster Avenue Improvements - 4th to 5th

Plan and Specification Development

Activity	Duration	Start	Finish
100% Final Plans	80 days	08/12/19	10/30/19
Final Utility Coordination	80 days	08/12/19	10/30/19

Bid Preparation and Advertisement

Purchasing Preparation	10 days	10/30/19	11/08/19
Advertisement Period	22 days	11/08/19	11/29/19
Host Pre Bid Meeting	1 day	11/19/19	11/19/19
Bid Opening & Award	19 days	11/29/19	12/17/19
TIF Board Consideration	41 days	10/10/19	11/19/19
Council Approval	1 day	12/17/19	12/17/19

Contract Award

Execute Contract Documents	22 days	12/17/19	01/07/20
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Construction

Issue Construction Notice to Proceed	8 days	01/07/20	01/14/20
Construction	120 days (4 mos.)	09/06/21	01/07/22
Project Acceptance	20 days	01/07/22	01/27/22

Construction Complete January 2022

TOTAL BUDGET

Funding Source	Planning/Design <i>(including environmental and acquisition costs)</i>	Construction	Total
<i>Webster Avenue Improvements – 4th to 5th</i>			
TIF Funding	\$ 0	\$ 341,000	\$ 341,000
City Funding	\$ 0	\$ 0	\$ 0
TOTAL	\$ 0	\$ 341,000	\$ 341,000

Requested TIF Funding: \$ 341,000



Staff Recommendation

Project	Current MCAD Value	Total Construction Cost	TIF Ask	% of Total Construction Cost	Staff Recommends	% of Total Construction Cost
Webster Ave. Sidewalk Impv	N/A	\$341,000	\$341,000	100%	\$341,000	100%



Staff Recommendation

- Recommended Funding: \$341,000 for the construction of sidewalk improvements from S 4th St. to S 5th St.
- TIF grant funds will be paid as portions of the project are completed.



The Containery Contract Extension



The Containery Project Timeline:

- April 13, 2017 - Recommended funding of \$488,078 by TIF Board
- October 3, 2017 – Funding approved by City Council
- February 27, 2019 - Request for extension granted by the City Manager
- August 30, 2019 – staff received request for 180 day

Reasons provided for extension request:

- Continued delays due to the rain and weather.
- Construction Delays
- Delay due the work load of sub-contractors and labor shortage
- Delayed City Inspections and approvals



Staff Recommendation

Approval of the contract extension for an additional 180 days

New project deadline March 28,2020



Behren's Building II Restoration Contract Amendment



Developer Request:

- Increase the amount of funding from \$556,267 to \$602,168 (additional \$45,901) due to additional public improvement project costs.

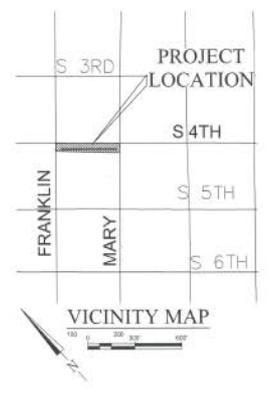


OCT 2019

SALE

FABLED
BOOKSHOP & CAFE



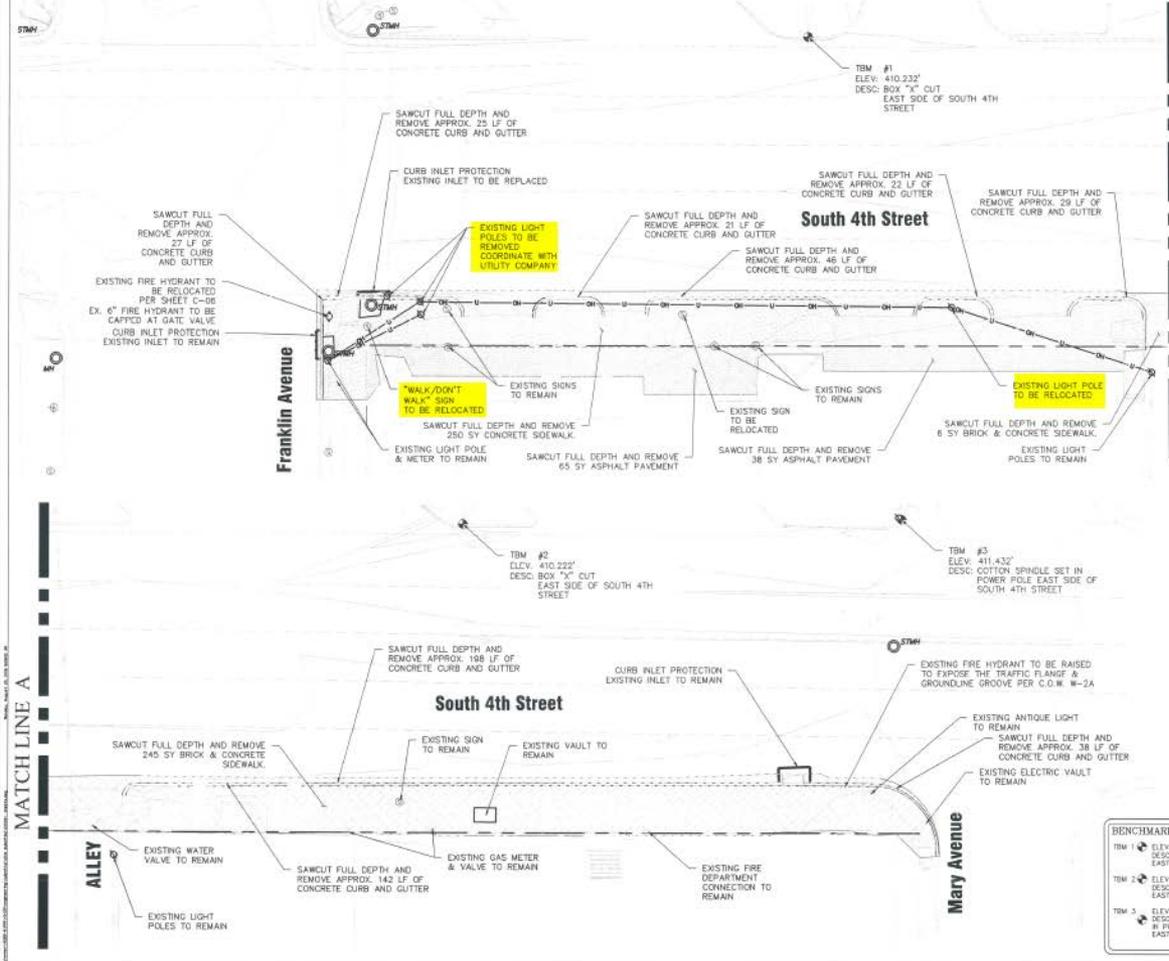


1519 Engineering
 1519 Franklin Avenue, Suite A, Dallas, TX 75210
 Ph: 314-776-1519
 www.1519LLC.com

ALL DIMENSIONS UNLESS OTHERWISE INDICATED
 WITH STANDARD 1/8" = 1'-0" UNLESS OTHERWISE NOTED
 REVISIONS: 01/15/2018 01/15/2018

1519 Engineering, LLC
 1519 Franklin Avenue, Suite A
 Dallas, TX 75210

1519 Engineering, LLC
 Texas Registered
 Engineering Firm
 P-11298
 08/20/2018
 DRAWN: CMH
 DATE: 02/15/2018
 1519 J06.P: 41439
 SHEET NO. 0-20



LEGEND			
IR.F	IRON ROD FOUND	□	POWER POLE
IR.S	IRON ROD SET	○	LIGHT POLE
X	CUT X IN CONCRETE	○	WATER VALVE
+	FIRE DEPT. CONNECTION	○	SMW
⊕	STREET SIGN	○	SMV
⊕	GAS METER/VALVE	○	SSM
⊕	WATER METER	○	STW
○	EXISTING CONCRETE	○	STW
○	EXISTING ASPHALT	○	STW
○	EXISTING CONCRETE/BRICK PAVEMENT SIDEWALK	○	STW

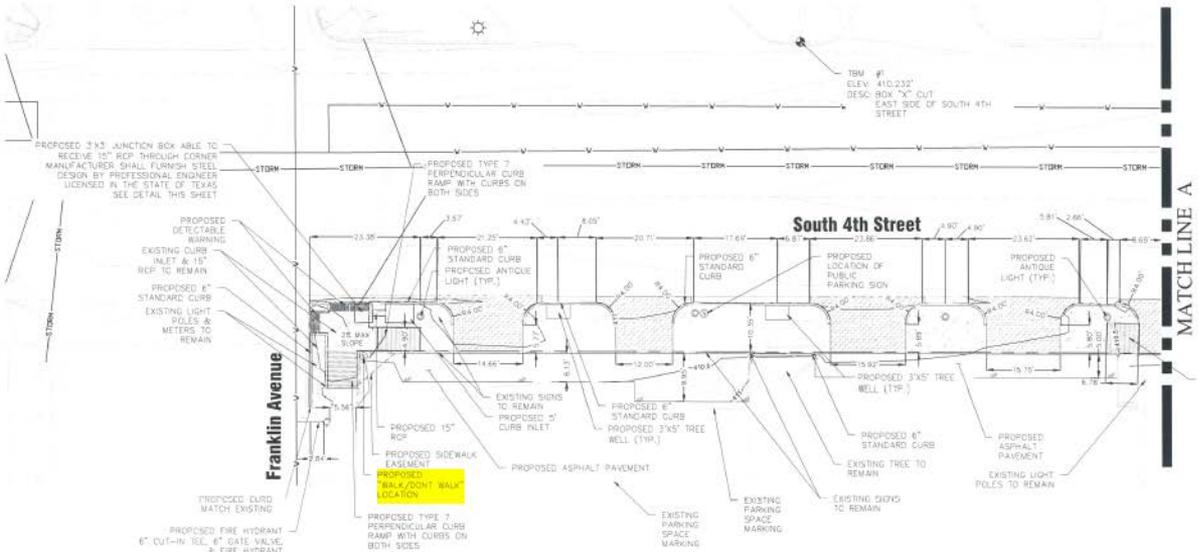
BENCHMARK INFORMATION:	
TBM #1	ELEV: 410.232' DESC: IRON ROD "X" CUT EAST SIDE OF SOUTH 4TH STREET
TBM #2	ELEV: 410.222' DESC: IRON ROD "X" CUT EAST SIDE OF SOUTH 4TH STREET
TBM #3	ELEV: 411.432' DESC: COTTON SPRIGLE SET IN POWER POLE EAST SIDE OF SOUTH 4TH STREET

THE CONTRACTOR SHALL
 CONTACT D&S-TESS AT 1-800-344-8377
 A MINIMUM OF 48 HOURS PRIOR TO
 THE COMMENCEMENT OF ANY
 CONSTRUCTION ACTIVITIES



MATCH LINE A

MATCH LINE A

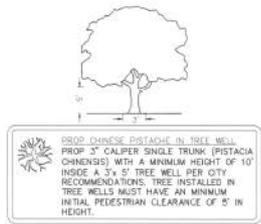


1519 Engineering
 2800 W. University Blvd., Suite 200
 Fort Worth, TX 76106
 www.1519.com
 PH: 817-776-6150

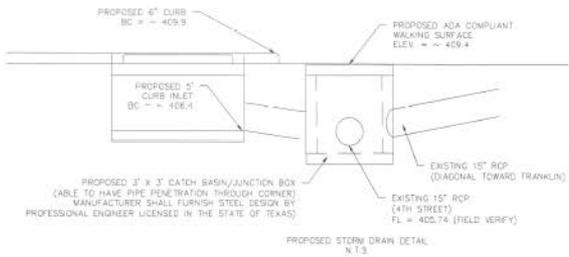
400 TERRELLS VILLAGE BOULEVARD
 FORT WORTH - HUNTER AVENUE, THE STARBUCKS AVENUE,
 WOODS, HILLSBOROUGH COMMUNITY, TEXAS

PAVEMENT LEGEND	
	DRIVEWAY PAVEMENT PROP 6" 3,000 PSI CONC. @ 28 DAYS W/ #3 BARS @ 18" O.C.C.W. ON 4" MIN. CONTRACTED ROAD GRAVEL PER C.O.W. DETAIL ST-11. SUBGRADE PER NOTE 1 BELOW.
	SIDEWALK PAVEMENT PROP 4" 3,000 PSI CONC. @ 28 DAYS W/ #3 BARS @ 18" O.C.C.W.
	PARKING LOT PAVEMENT REPLACEMENT PROP 1.5" 11" 10" #MAC ON 8" OF 2,000 PSI CONC. PER C.O.W. DETAIL ST-8 & ST-11.
	EXISTING PAVEMENT

NOTES	
1.	THE SUBGRADE SHALL BE MIN. 6" SCARIFIED AND RE-COMPACTED TO AT LEAST 90% OF ASTM D698 (OR TEX-113-S) MAXIMUM DRY DENSITY.
2.	THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF-LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE EXISTING STRUCTURES.
3.	CONTRACTOR SHALL DOWEL AND EPOXY #4 X 24" SMOOTH BARS AT 18" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE SIDEWALK EDGES W/ 1/2" EXPANSION JOINT & SELF-LEVELING JOINT SEALING COMPOUND.
4.	CONTRACTOR TO STRIPE PARKING SPACES (HEAD-IN AND PARALLEL) PER PLAN.



- NOTE
- CONTRACTOR SHALL COORDINATE WITH GAS UTILITY AND ANY OTHER APPLICABLE FRANCHISE UTILITY COMPANY TO RELOCATE BURIED FRANCHISE UTILITIES TO REMOVE CONFLICTS FOR PROPOSED STREET TREES AND LIGHT POLES.



BENCHMARK INFORMATION:	
BM 1	ELEV. 410.232' DESCRIPTION: BOX "X" CUT EAST SIDE OF SOUTH 4TH STREET
BM 2	ELEV. 410.222' DESCRIPTION: BOX "X" CUT EAST SIDE OF SOUTH 4TH STREET
BM 3	ELEV. 411.432' DESCRIPTION: SECTION SPOKE SET IN POWER POLE EAST SIDE OF SOUTH 4TH STREET

THE CONTRACTOR SHALL CONTACT D.E. TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



1519 Engineering, LLC
 Isaac Peterson
 Engineering Firm
 #17020

08/20/2018

DRAWN: CIM

DATE: 02/15/2018
 1519 3084: 41439

SHEET NO. 002E

ALL UTILITIES SHOWN UNLESS OTHERWISE NOTED
4010 4TH STREET - 7.5' SAFETY SETBACK FROM PROPERTY BOUNDARY
WATER, GAS, AND CABLE UTILITIES COORDINATED, VERIFIED

UTILITY SHOWN

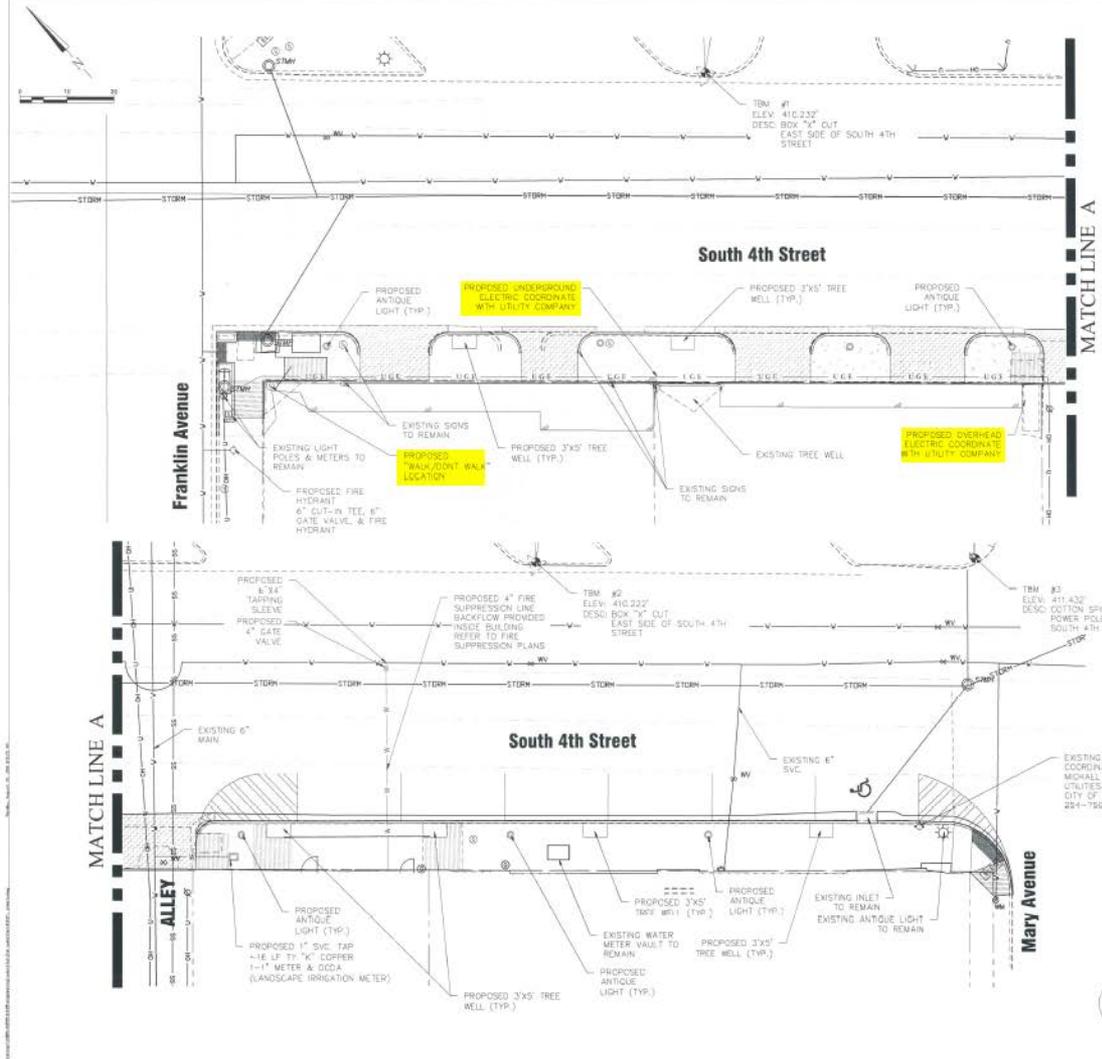
DRAWN: CIM

DATE: 02/15/2018

1519 JOB #: 41439

SHEET 303

©-08



NOTE

1. CONTRACTOR SHALL COORDINATE WITH GAS UTILITY AND ANY OTHER APPLICABLE FRANCHISE UTILITY COMPANY TO RELOCATE BURIED FRANCHISE UTILITIES TO REMOVE CONFLICTS FOR PROPOSED STREET TREES AND LIGHT POLES.

BENCHMARK INFORMATION:

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THE CONTRACTOR SHALL CONTACT DCO-TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



1519 Engineering, LLC
State Registered
Engineering Firm
P-17288

02/15/2018

Recommendation – revised

Contract amendment request of \$45,901

- In keeping with the general TIF protocol - not providing additional funding for budget overruns on a project, staff recommended denial
- However, if there are completely unforeseen costs, the project can request additional TIF funding, on TIF Eligible items, but they must come back to the TIF Board & City Council for that approval
- Since the item's posting for the TIF agenda, we have seen additional documentation in the utility expenses.
- The request pertains to the public portion of the project, which was at the city's request
- **TIF Board recommendation is for denial, but we are reversing the staff recommendation from denial to approval based on the new information**



Taylor Street Slab Removal & Remediation

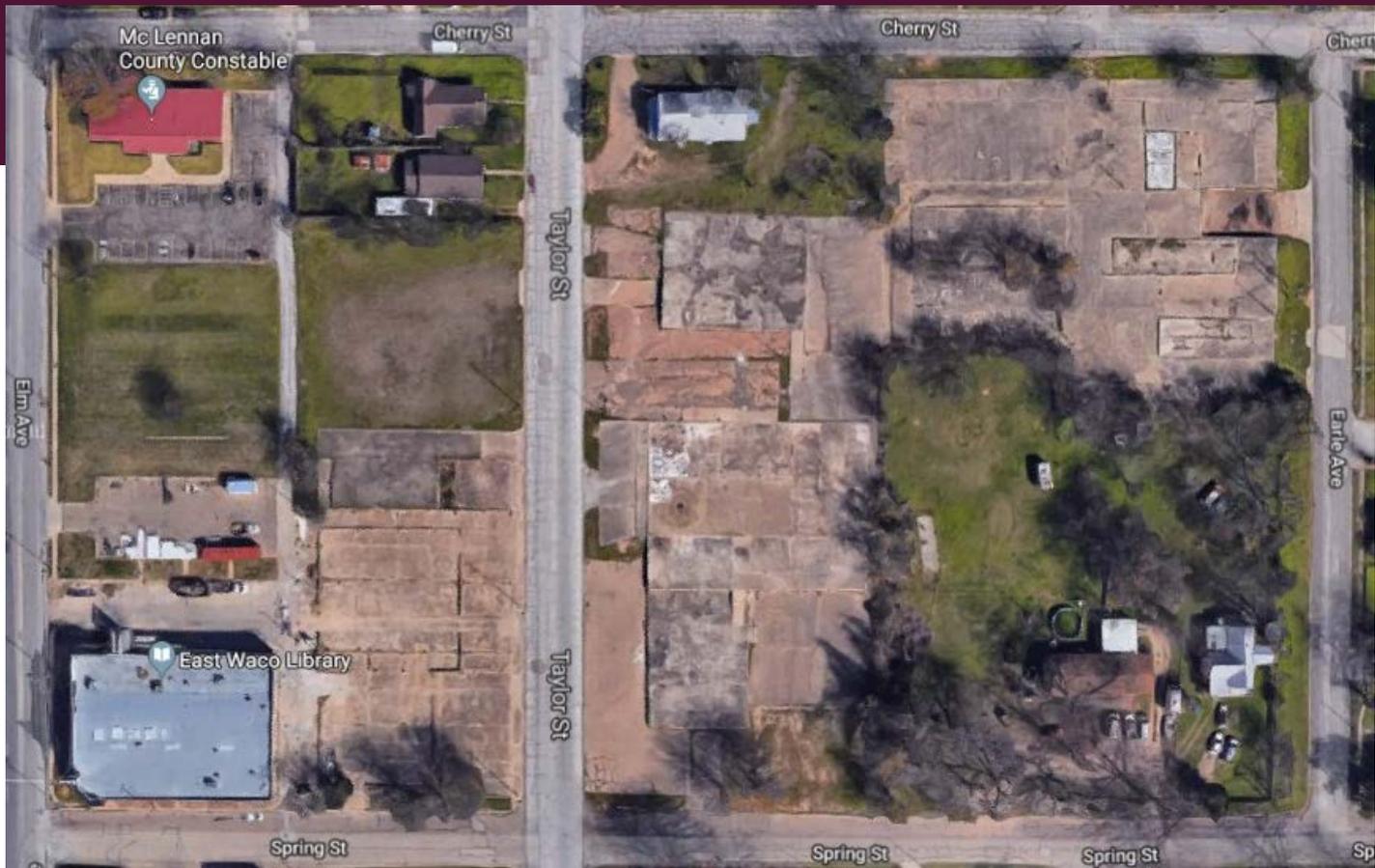


LOCATION: "TAYLOR STREET SLABS"

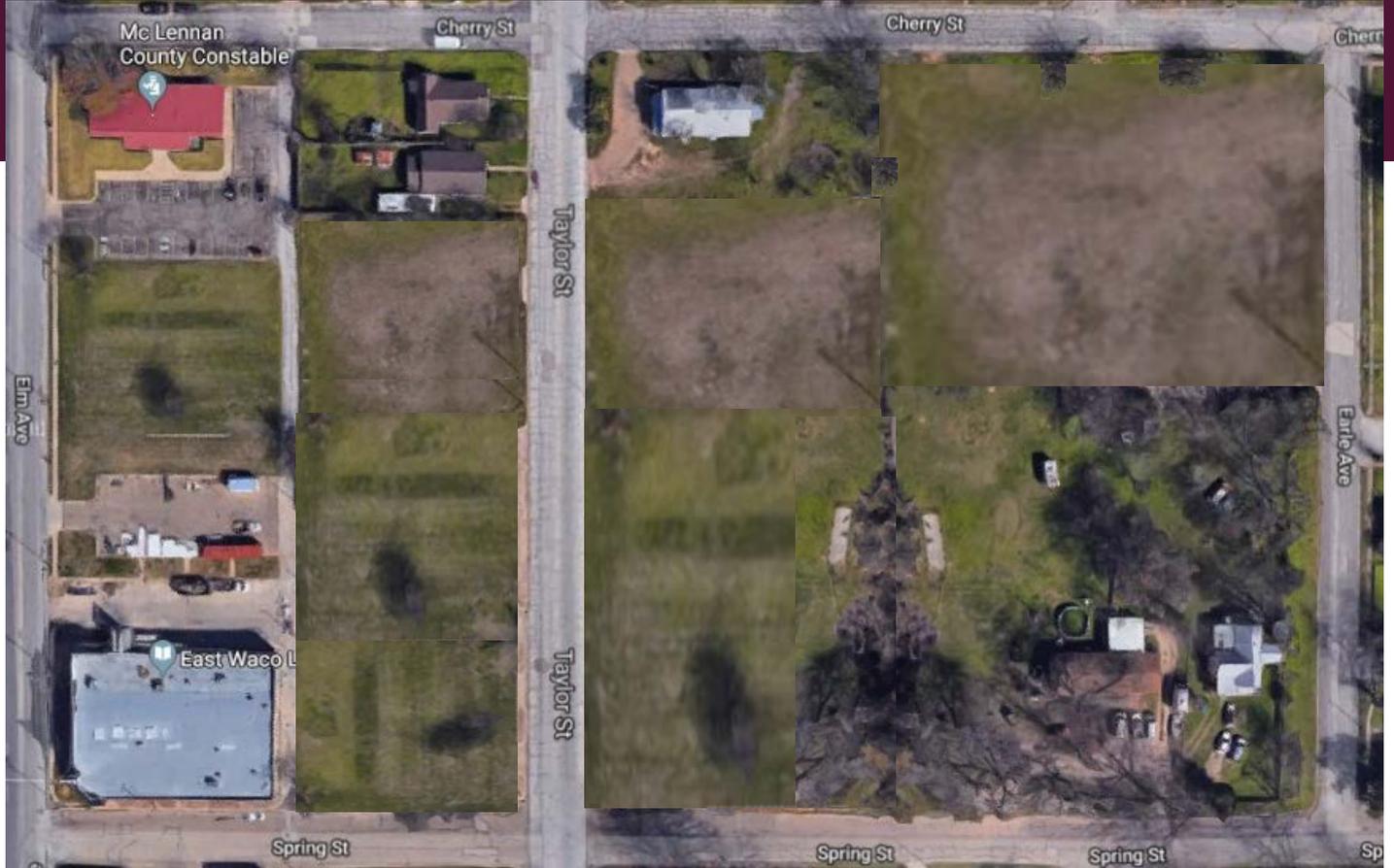
CITY CENTER WACO



CURRENT:



PROPOSED

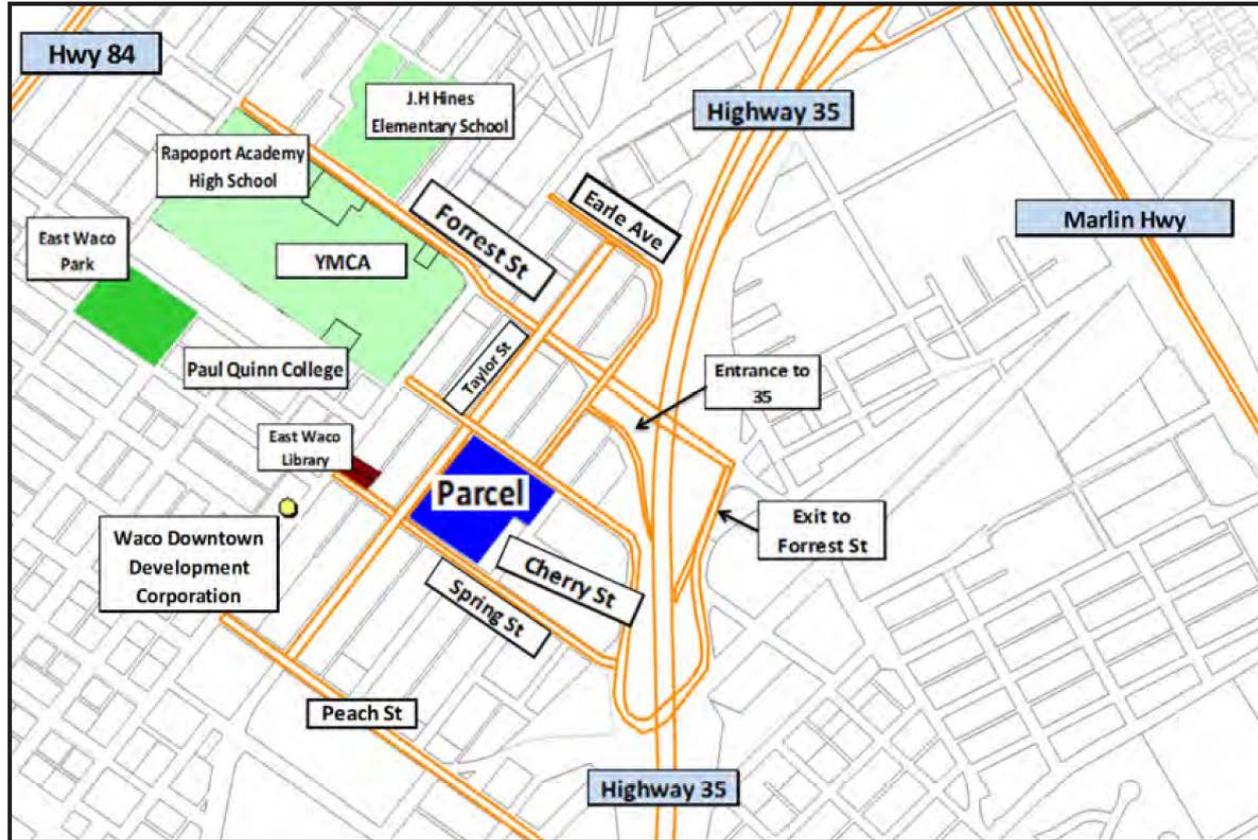


PROJECT SUMMARY

- Current Project: Secure a detailed plan and budget for construction.
- Budget
 - Revenues: TIF Funds \$369,430
 - Expenses: Professional Services \$369,430

Upjohn Study

Map 4 Site #1 Urban Core Parcel and Amenities



Staff Recommendation

- Recommended Funding: \$369,430 for concrete slab removal
- TIF grant funds will be paid once the project is completed.
- Contract term shall be 12 months to complete the concrete removal.



Staff Recommendation

Project	Current MCAD Value	Total Construction Cost	TIF Ask	% of Total Construction Cost	Staff Recommends	% of Total Construction Cost
Elm Ave./Taylor St. Slab Removal & Remediation	N/A	\$369,430	\$369,430	100%	\$369,430	100%



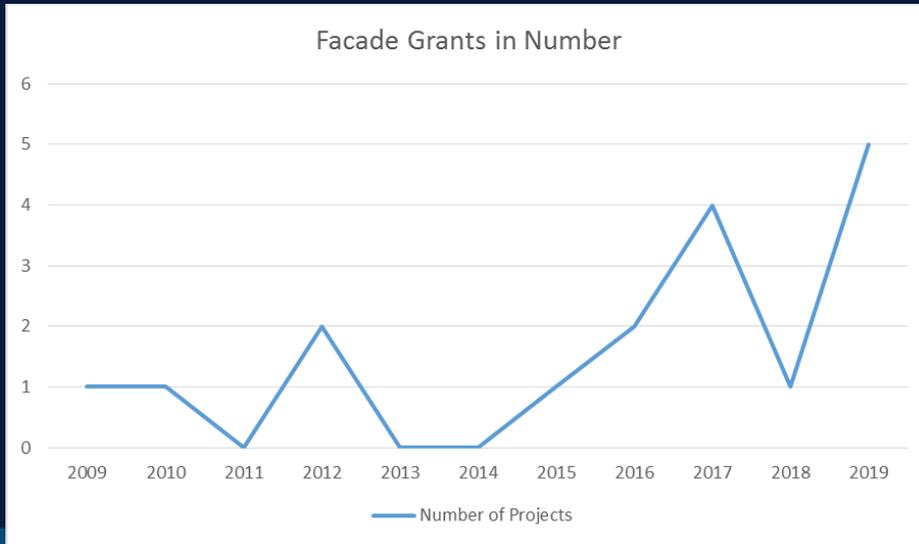
Façade Improvement Program

Funding Request



Funding Request

- City Center Waco, who administers the program is requesting that additional funding be made available to the Façade Improvement Grant fund



Since 2015, program use and project diversity have increased. Of the 13 grants made, 6 have been on the East side of the river. Awards have ranged from \$1,849 to \$45,000 (the program upper limit.)

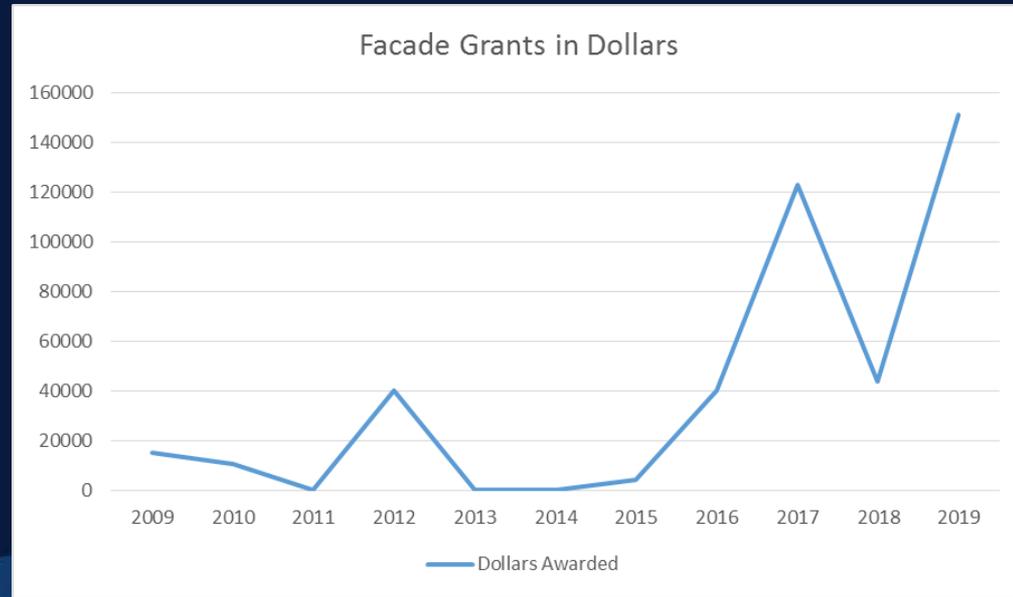


Funding Request

As of September 2019, \$425,000 has been allocated to the program and that entire amount has been awarded to 17 recipient projects totaling an estimated \$1,359,135 in improvements to downtown buildings – a return of more than 2 to 1.

Previously approved allocations:

- \$75,000 (2008)
- \$100,000 (2014)
- \$100,000 (2016)
- \$150,000 (2017)



Staff Recommendation

- Recommended Funding: \$200,000 to continue the Façade Improvement Program



Thank you

